

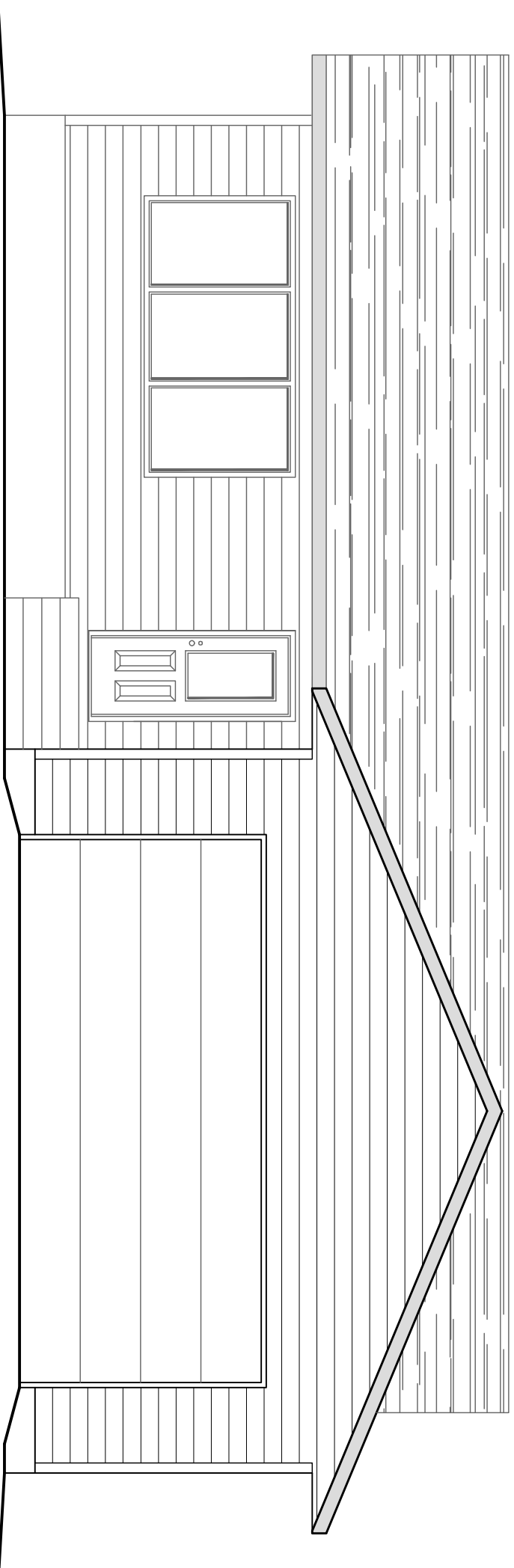
# SAMPLE DRAWINGS

## CONSTRUCTION CODE AUTHORITY - SK

### LIST OF DRAWINGS

#### ARCHITECTURAL:

- A-1.0 TITLE PAGE
- A-2.0 GENERAL NOTES  
WINDOW SCHEDULE
- A-2.1 SITE PLAN
- A-3.0 BASEMENT FLOOR PLAN - EXISTING
- A-3.1 BASEMENT FLOOR PLAN - REVISED
- A-4.0 MAIN FLOOR PLAN - EXISTING
- A-4.1 MAIN FLOOR PLAN - REVISED
- A-5.0 ROOF PLAN
- A-6.0 MAIN FLOOR ADJUST LAYOUT
- A-7.0 TYP. CONSTRUCTION ASSEMBLIES
- A-7.1 ENERGY EFFICIENCY REVIEW  
SECTION 9.26. NBC 2015
- A-7.2 ENERGY EFFICIENCY REVIEW  
CALCULATIONS
- A-8.0 BUILDING SECTION
- A-8.1 BUILDING SECTION
- A-8.2 BUILDING SECTION
- A-9.0 EXTERIOR ELEVATIONS
- A-9.1 EXTERIOR ELEVATIONS



SAMPLE SET ONLY

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DRAWING NAME:

TITLE PAGE

DATE:

November 13, 2020

PROJECT #:

2020-96

DRAWN:

BMV

A-1.0





**BUILDING AREA**  
 MAIN FLOOR EXISTING: 1025 SQ. FT.  
 MAIN FLOOR ADDITION: 198 SQ. FT.  
 GARAGE ADDITION: 579 SQ. FT.  
 3 SEASON ROOM ADDITION: 168 SQ. FT.  
 NOTE: ALL AREAS INCLUDE EXTERIOR WALLS

**WINDOW SCHEDULE:**

LOCATION:	SIZE:	QTY:
<b>A</b> DINING ROOM <small>SEE NOTE 3</small>	60"x60"	1
<b>B</b> KITCHEN	72"x40"	1
<b>C</b> 3 SEASON'S ROOM <small>SEE NOTE 4</small>	30"x72"	6
<b>D</b> MASTER BEDROOM <small>SEE NOTE 3</small>	48"x48"	1

**WINDOW NOTES:**  
 1. CONTRACTOR TO CONFIRM WINDOW SIZES AND ROUGH OPENINGS WITH WINDOW SUPPLIER  
 2. NEW WINDOWS TO CONFORM TO SECTION 9.36. OF THE NATIONAL BUILDING CODE OF CANADA 2015. SEE PAGE A-7.1.  
 3. CONTRACTOR TO CONFIRM EXISTING WALL THICKNESS PRIOR TO ORDERING NEW WINDOWS.  
 4. WINDOWS IN 3 SEASON ROOM (UNHEATED) NEED NOT CONFORM TO SECTION 9.36. OF THE NATIONAL BUILDING CODE OF CANADA 2015 AS PER A-9.36.1.3.(5)

**GENERAL NOTES:**  
 CONTRACTOR TO CONFORM TO PART 9 OF NATIONAL BUILDING CODE OF CANADA  
 DO NOT SCALE DRAWINGS. ALL DIMENSIONS TO BE CONFIRMED BY CONTRACTOR  
 ALL DIMENSIONS ARE FROM OUTSIDE OF EXTERIOR SHEATHING TO CENTER LINE OF WALLS OR TO CENTER OF WINDOW OPENINGS  
 CONTRACTOR TO REVIEW AND CONFIRM WINDOW SIZES  
 ALL DOORS TO BE 6'-8" UNLESS NOTED OTHERWISE  
 ALL LINTELS 2'-2"x10" UNLESS NOTED OTHERWISE  
 ALL DIMENSION LUMBER MEMBERS (JOISTS, B.U. BEAMS, LINTELS ETC.) ARE SIZED FROM "SPAN BOOM". THE NATIONAL BUILDING CODE OF CANADA 2015 REFERENCES THE "SPAN BOOM" IN APPENDIX A-9.23.4.2.  
 CONTRACTOR & OWNER TO DETERMINE PLACEMENT OF RESIDENCE ON PROPERTY; MUST CONFORM TO LOCAL & MUNICIPAL BYLAWS/STANDARDS.  
 THE PLANS SHOWN HEREIN ARE A COPYRIGHT OF VETTER DRAFTING & HOME DESIGN; ANY REPRODUCTION WHETHER IN FULL OR IN PART IS ILLEGAL WITHOUT CONSENT FROM VETTER DRAFTING & HOME DESIGN  
 STEP FOOTINGS SHALL HAVE MAXIMUM RISE OF 600mm AND A MINIMUM RUN OF 600mm (9.15.3.9. NBC 2015)  
 CONTRACTOR TO VERIFY SETBACKS TO PROPERTY LINES ON SITE AND CONFORM TO MUNICIPAL BYLAWS  
 DOUBLE JOISTS AROUND ALL FLOOR OPENINGS AND UNDER PARALLEL PARTITIONS  
 CONTRACTOR TO INSURE POSITIVE DRAINAGE AWAY FROM RESIDENCE  
 THE DRAWINGS HEREIN ARE A GUIDE ONLY. CONTRACTOR TO ENSURE DRAWINGS MEET LOCAL BUILDING CODES AND PRACTICES. VETTER DRAFTING AND HOME DESIGN NOT RESPONSIBLE FOR ANY CHANGES DONE AFTER SUBMISSION OF DRAWINGS TO THE OWNER  
 ELECTRICAL LAYOUT AND DESIGN TO BE DONE BY OWNER AND ELECTRICAL CONTRACTOR  
 PRESERVED WOOD FOUNDATIONS SHALL CONFORM TO CAN/CSA-S406 "CONSTRUCTION OF PRESERVED WOOD FOUNDATIONS"  
 INSULATED CONCRETE FORMS SHALL BE REINFORCED WITH REBAR CONFORMING TO MANUFACTURES STANDARDS  
 ROUGH IN PIPE FOR RADON GAS AS PER NBC 2015 (9.13.4.3)

**LIST OF ABBREVIATIONS:**

AA	ATTIC ACCESS	FD	FLOOR DRAIN
ADJ.	ADJUSTABLE	FDN	FOUNDATION
AVB	AVR/VAPOUR BARRIER	FLR	FLOOR
AA	ATTIC ACCESS	FURN	FURNACE
BR	BROOM CLOSET	MECH.	MECHANICAL
B.U.	BUILT UP	o.c.	ON CENTER
CANT.	CANTILEVERED	P.	PANTRY
CL	CENTER LINE	PT.	PRESSURE TREATED
COL.	COLUMN	PWF	PRESERVED WOOD FOUNDATION
CONC.	CONCRETE	REINF.	REINFORCED
c/w	COMES WITH	ST.	STEEL
DW	DISHWASHER	T/O	TO OF
DN	DOWN	TYR.	TYPICAL
D	DRYER	U/S	UNDERSIDE OF
ELEC.	ELECTRICAL	VAC	CENTRAL VACUUM
ENG.	ENGINEERED	W.I.C.	WALK IN CLOSET
F.	FRIDGE	W	WASHING MACHINE
H.R.V.	HEAT RECOVERY VENTILATOR	W/H	WATER HEATER
ICF	INSULATED CONCRETE FORMS	WD	WOOD
INSUL.	INSULATION		

THESE ABBREVIATIONS MAY OR MAY NOT APPEAR ON THIS SET OF DRAWINGS

FD FLOOR DRAIN  
 FDN FOUNDATION  
 FLR FLOOR  
 FURN FURNACE  
 MECH. MECHANICAL  
 o.c. ON CENTER  
 P. PANTRY  
 PT. PRESSURE TREATED  
 PWF PRESERVED WOOD FOUNDATION  
 REINF. REINFORCED  
 ST. STEEL  
 T/O TO OF  
 TYR. TYPICAL  
 U/S UNDERSIDE OF  
 VAC CENTRAL VACUUM  
 W.I.C. WALK IN CLOSET  
 W WASHING MACHINE  
 W/H WATER HEATER  
 WD WOOD

Ⓢ SMOKE/ CARBON MONOXIDE DETECTOR  
 Ⓢ SMOKE DETECTOR

**SAMPLE DRAWINGS**

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**DRAWING NAME:**

**GENERAL NOTES**

**WINDOW SCHEDULE**

**SAMPLE SET ONLY**

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**DATE:**

November 13, 2020

**PROJECT #:**

2020-96

**DRAWN:**

BMV

**A-2.0**

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**DRAWING NAME:**

**SITE PLAN**

**DATE:**

**November 13, 2020**

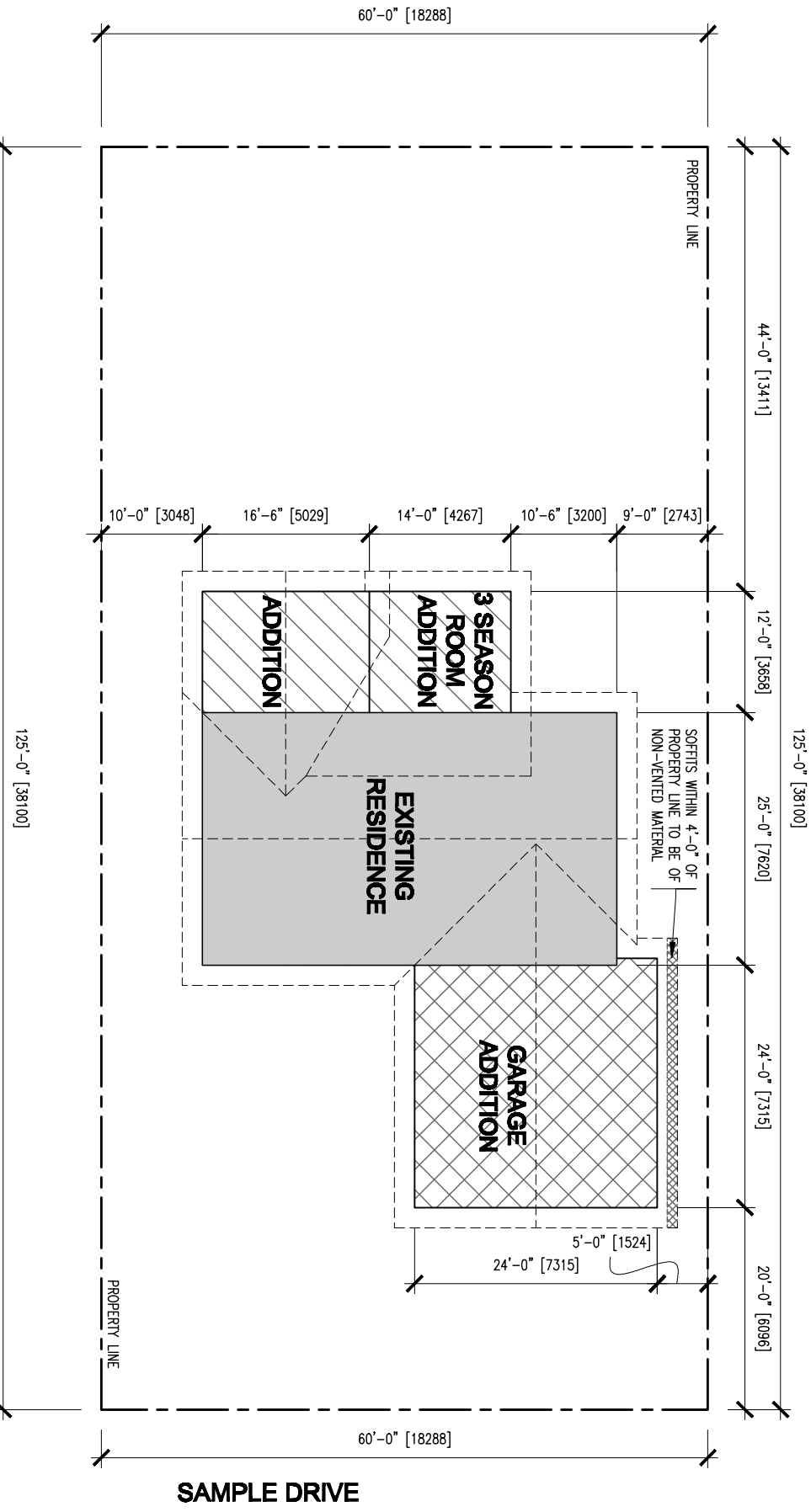
**PROJECT #:**

**2020-96**

**DRAWN:**

**BMV**

**A-2.1**



**SITE PLAN**

**SCALE: 1/8" = 1'-0"**

LOT AREA:  
7500 ft<sup>2</sup> [697 m<sup>2</sup>]  
SITE COVERAGE = 26.3%

**NOTE:**  
CONFIRM WITH AUTHORITIES HAVING JURISDICTION  
CORRECT SETBACKS FROM PROPERTY LINES.  
CONTRACTOR TO ENSURE THE CONSTRUCTION OF  
THE RESIDENCE CONFORM TO THESE SETBACKS

**LEGAL DESCRIPTION:**  
LOT 1, BLOCK 2 PLAN #: 123456789  
**CIVIC ADDRESS:**  
123 SAMPLE DRIVE, SAMPLE, SK

**SAMPLE SET ONLY**

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**SAMPLE DRAWINGS**

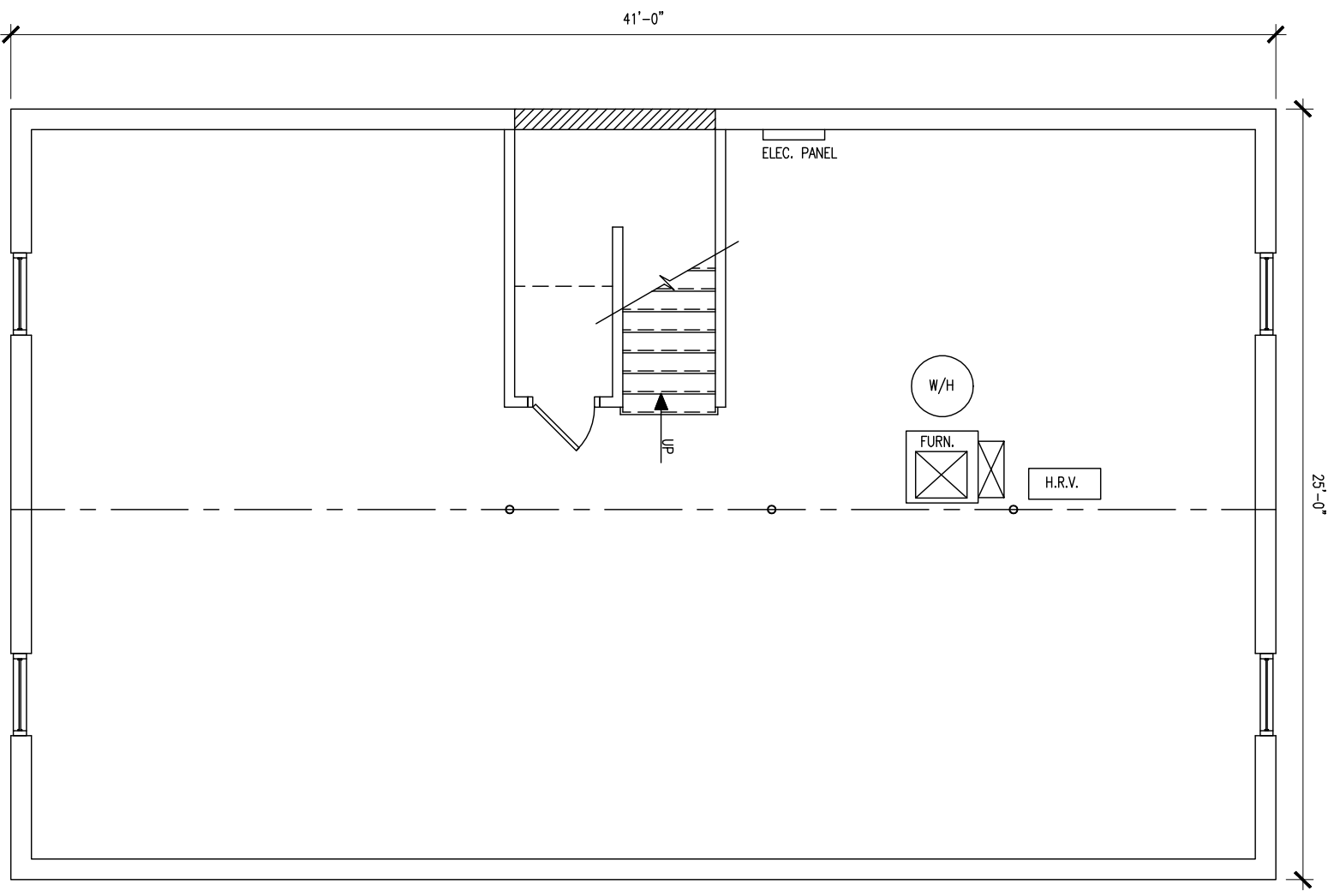
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**DRAWING NAME:**  
**BASEMENT FLOOR  
PLAN, EXISTING**

**DATE:**  
**November 13, 2020**

**PROJECT #:**  
**2020-96**

**DRAWN:**  
**BMV**  
**A-3.0**



**BASEMENT FLOOR PLAN  
EXISTING**



SCALE: 3/16" = 1'-0"

**SAMPLE SET ONLY**

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**SAMPLE DRAWINGS**

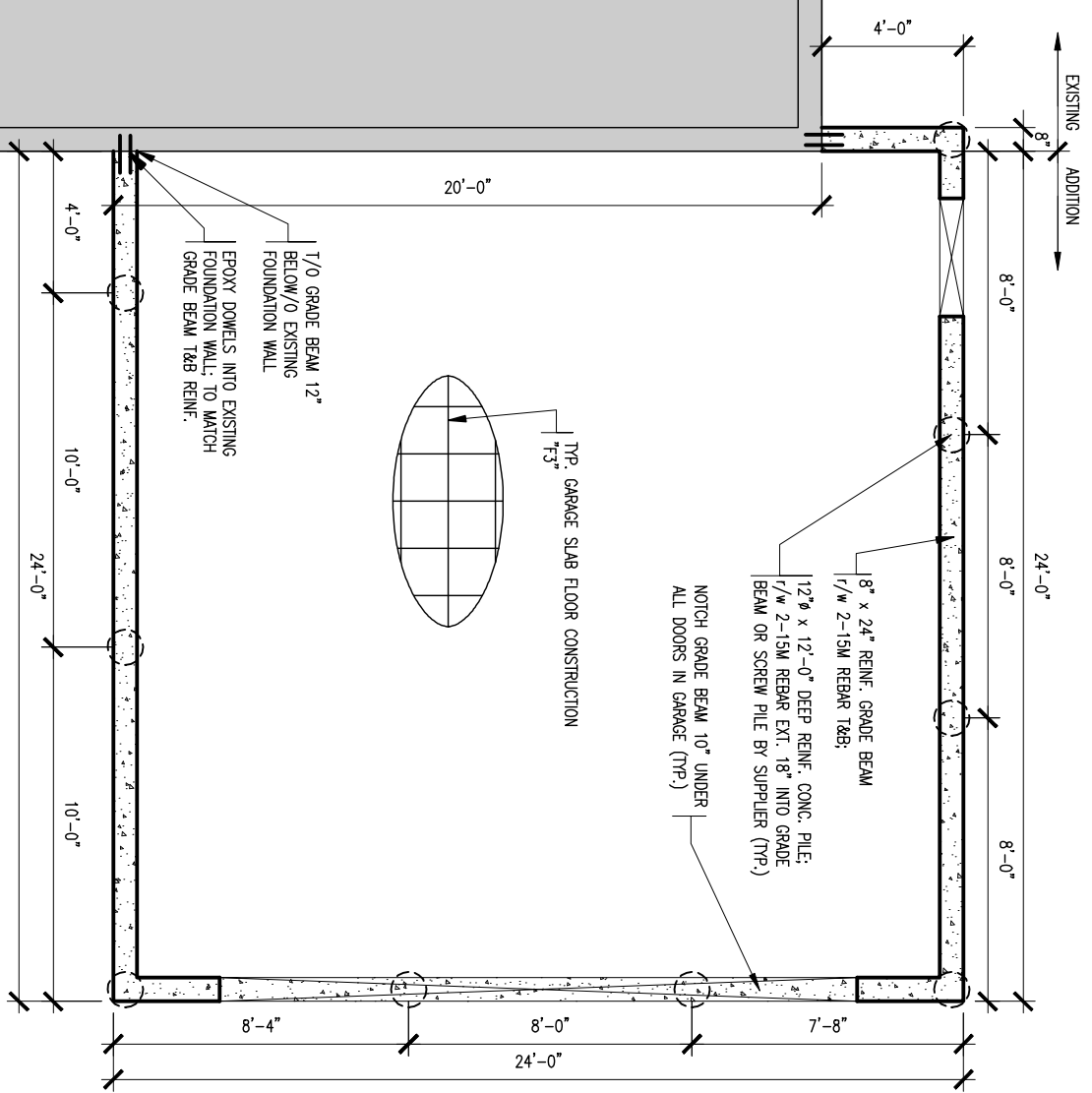
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**DRAWING NAME:**  
**BASEMENT FLOOR PLAN, REVISED**

**DATE:**  
November 13, 2020

**PROJECT #:**  
2020-96

**DRAWN:**  
BMV  
**A-3.1**



**BASEMENT FLOOR PLAN  
REVISED**

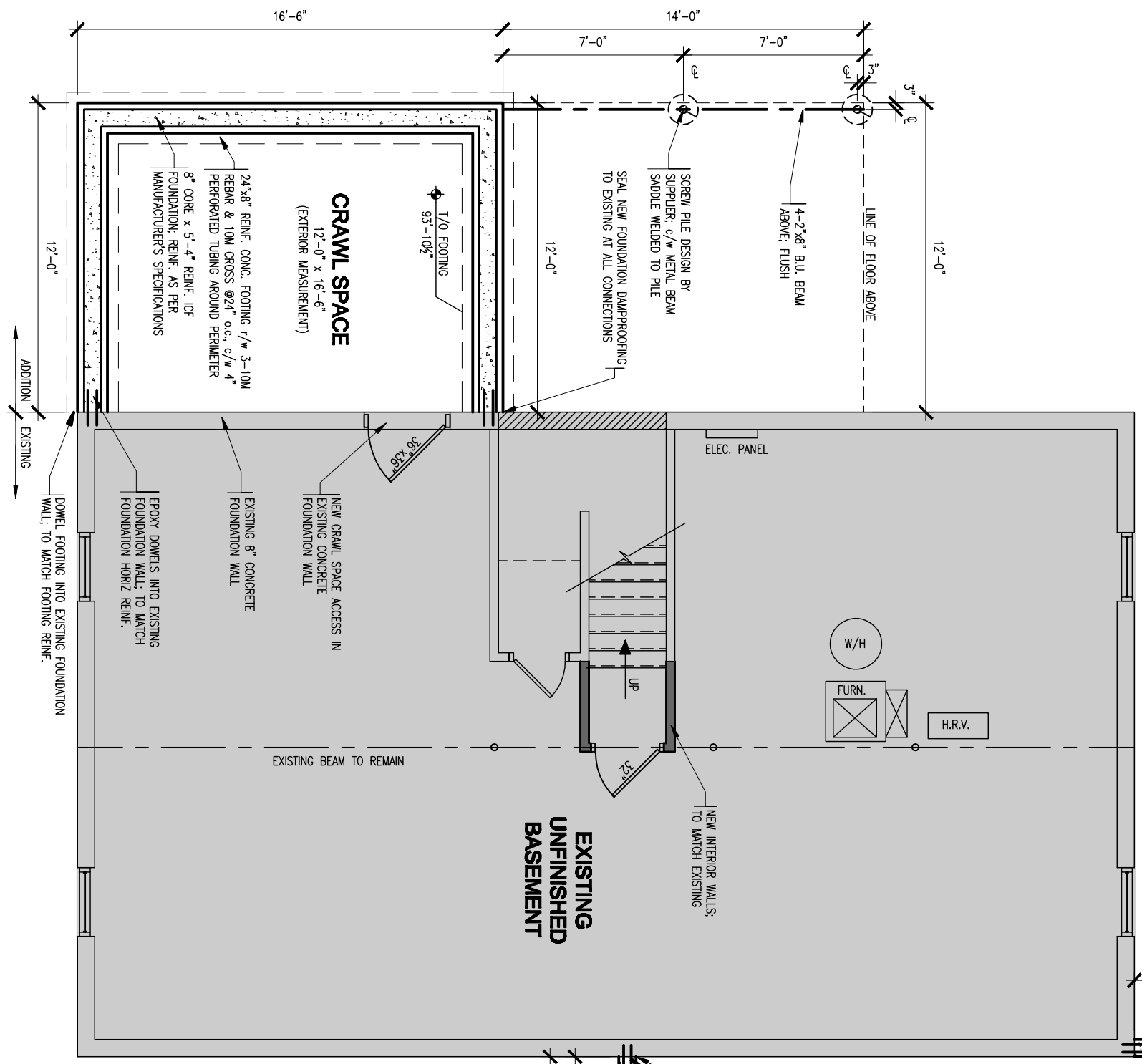


SCALE:  $\frac{3}{8}'' = 1'-0''$

- NOTES:**
1. EXISTING RESIDENCE SHOWN SHADED.
  2. CONTRACTOR TO CONFIRM ALL EXISTING DIMENSIONS.
  3. CONTRACTOR RESPONSIBLE FOR DETERMINE ALL EXISTING CONDITIONS & CONSTRUCTION ASSEMBLIES. ENSURE EXISTING WALLS AND FOUNDATION ARE ADEQUATE CONDITION FOR THE INTEGRATION OF NEW CONSTRUCTION.
  4. SEE PAGE A-7.0 FOR TYPICAL CONSTRUCTION ASSEMBLIES.
  5. CONTRACTOR TO CONFIRM EXISTING WALL HEIGHTS, ROOF SLOPES & BUILDING ASSEMBLIES.
  6. CONTRACTOR RESPONSIBLE FOR DETERMINE ANY STRUCTURAL MEMBERS PRIOR TO DEMOLITION; IF STRUCTURAL MEMBERS ARE TO BE REMOVED, CONTRACTOR TO NOTIFY DESIGNER.
  7. ALL LUMBER IN CONTACT WITH CONCRETE FOUNDATION TO BE OF PRESSURE TREATED MATERIAL.
  8. CONCRETE IN ACCORDANCE WITH CSA 423.1-04 32 MPA 28 DAY COMPRESSIVE STRENGTH
  9. REINFORCING STEEL IN ACCORDANCE WITH CSA 630.18 400MPa YIELD
  10. REINFORCING DESIGN IN ICF BLOCK AS PER MANUFACTURER'S SPECIFICATIONS
  11. FOUNDATION TO BE CONFIRMED BY FOUNDATION CONTRACTOR OR IF MUNICIPALITY REQUIRES TO BE CONFIRMED BY A PROFESSIONAL ENGINEER

**SAMPLE SET ONLY**

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**CRAWL SPACE**  
12'-0" x 16'-6"  
(EXTERIOR MEASUREMENT)

24"x8" REINF. CONC. FOOTING 1/w 3-10M REBAR & 10M CROSS @24" o.c., c/w 4" PERFORATED TUBING AROUND PERIMETER  
8" CORE x 5'-4" REINF. ICF FOUNDATION; REINF. AS PER MANUFACTURER'S SPECIFICATIONS

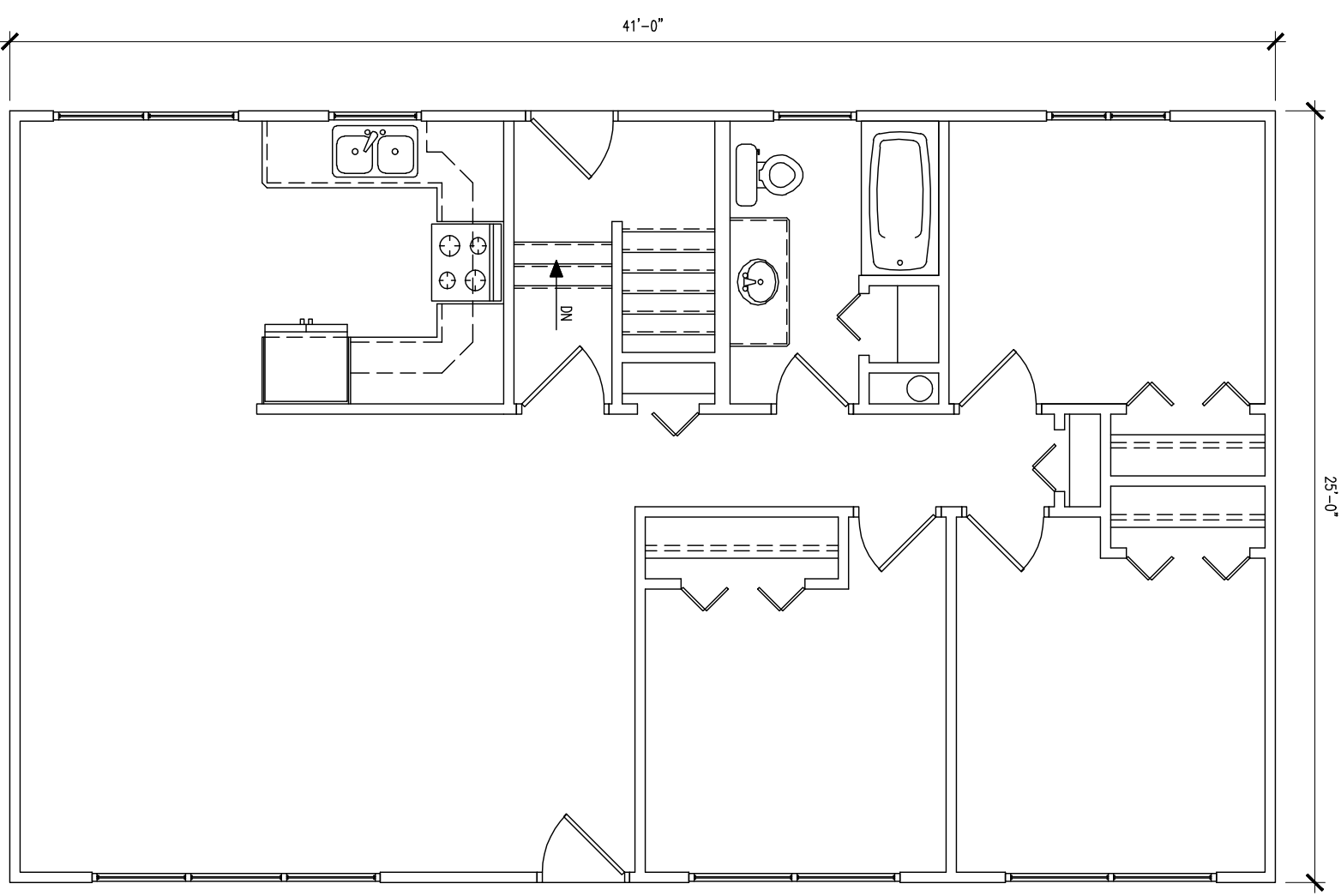
**EXISTING UNFINISHED BASEMENT**

NEW CRAWL SPACE ACCESS IN EXISTING CONCRETE FOUNDATION WALL  
EXISTING 8" CONCRETE FOUNDATION WALL  
EPOXY DOWELS INTO EXISTING FOUNDATION WALL; TO MATCH FOUNDATION HORIZ REINF.  
DOWEL FOOTING INTO EXISTING FOUNDATION WALL; TO MATCH FOOTING REINF.

NEW INTERIOR WALLS TO MATCH EXISTING  
ELEC. PANEL  
W/H  
FURN.  
H.R.V.

EXISTING BEAM TO REMAIN

ADDITION  
EXISTING



**MAIN FLOOR PLAN**  
SCALE:  $\frac{3}{16}'' = 1'-0''$   
**EXISTING**

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**MAIN FLOOR PLAN**  
**EXISTING**

**DATE:**  
November 13, 2020

**PROJECT #:**  
2020-96

**DRAWN:**  
BMV  
**A-4.0**



**SAMPLE DRAWINGS**

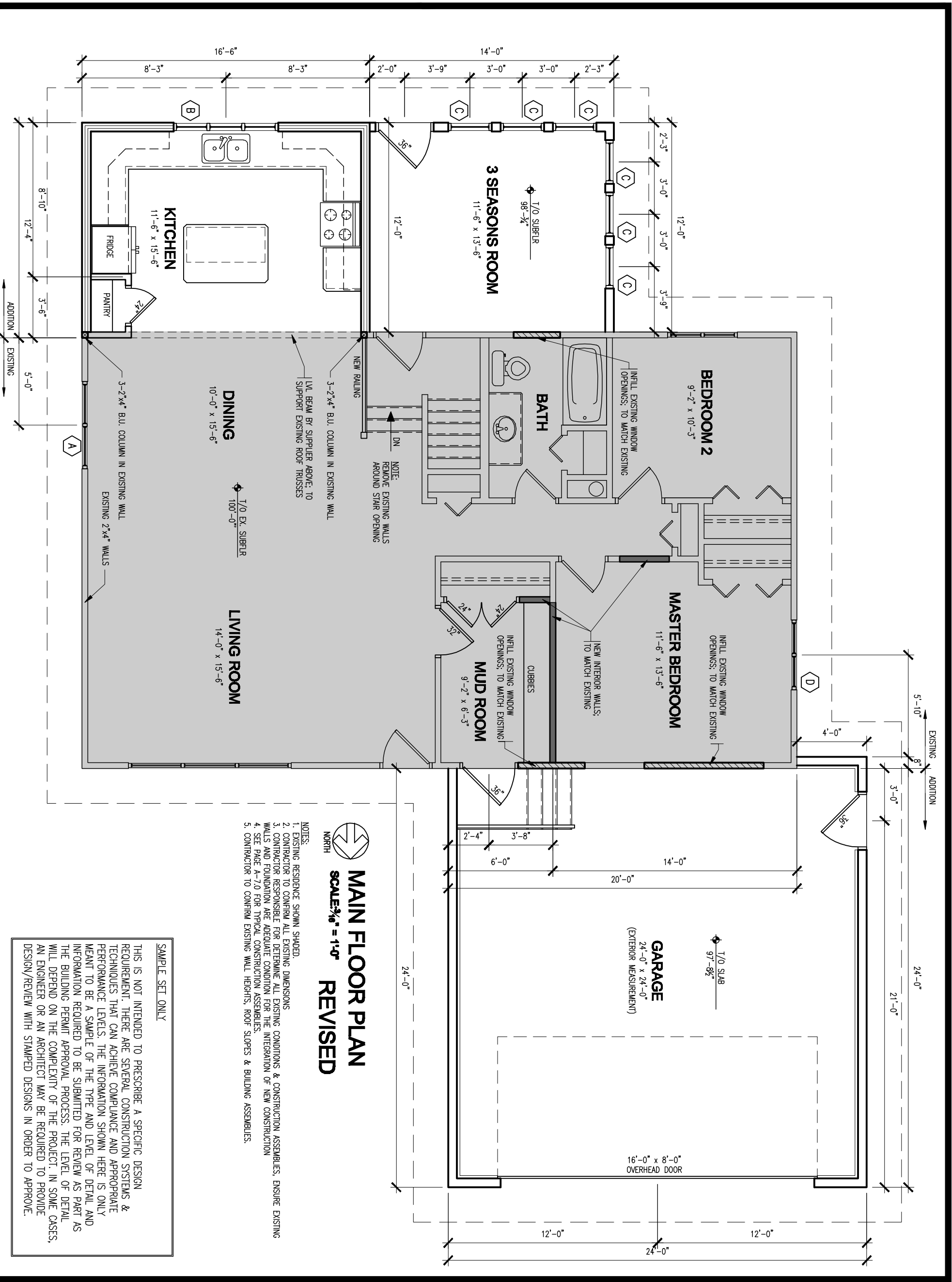
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**DRAWING NAME:**  
MAIN FLOOR PLAN  
**REVISED**

**DATE:**  
November 13, 2020

**PROJECT #:**  
2020-96

**DRAWN:**  
BMV  
**A-4.1**



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**DRAWING NAME:**

**ROOF PLAN**

**DATE:**

**November 13, 2020**

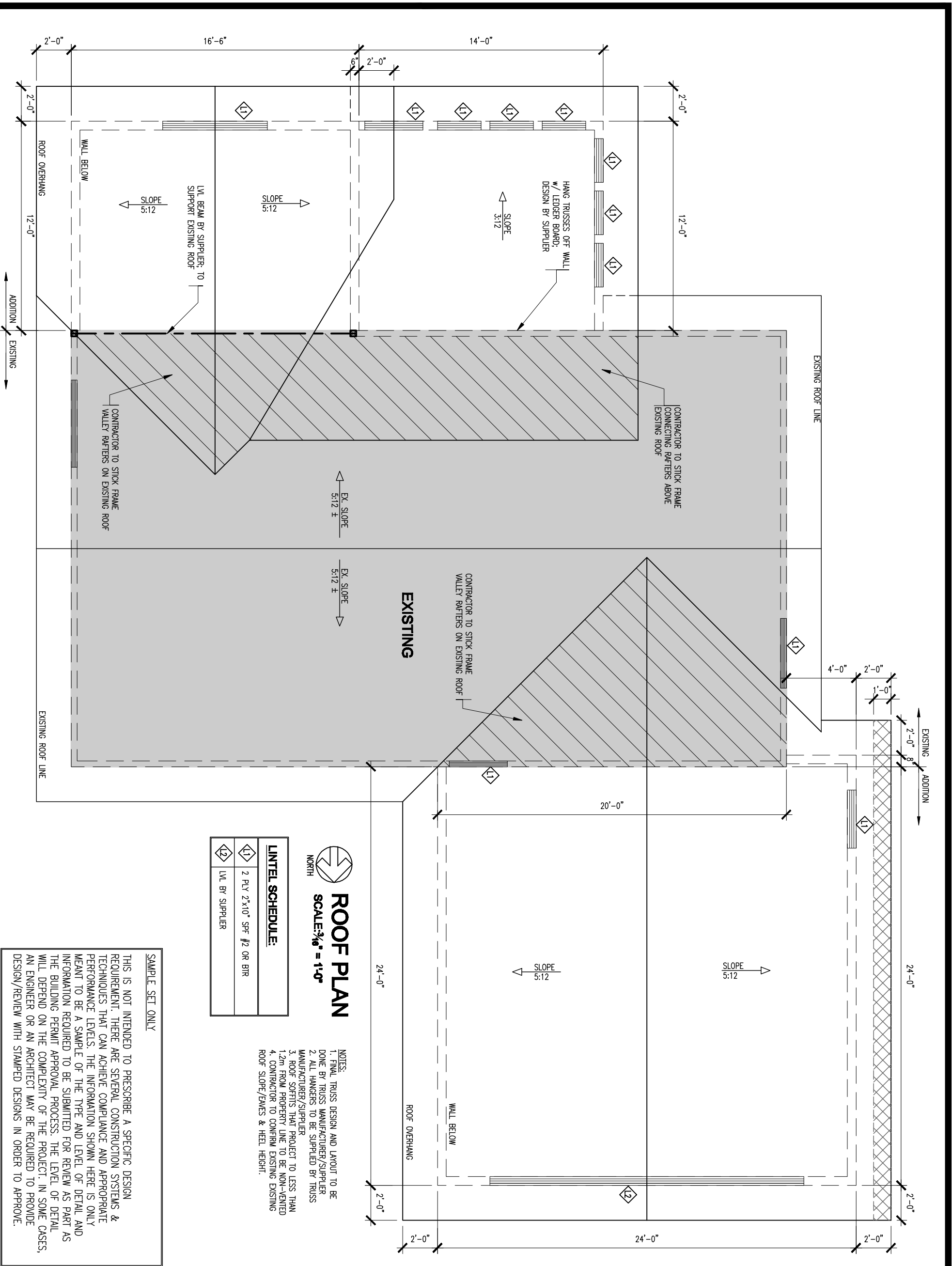
**PROJECT #:**

**2020-96**

**DRAWN:**

**BMV**

**A-5.0**



**ROOF PLAN**  
SCALE:  $\frac{3}{8}'' = 1'-0''$

**LINTEL SCHEDULE:**

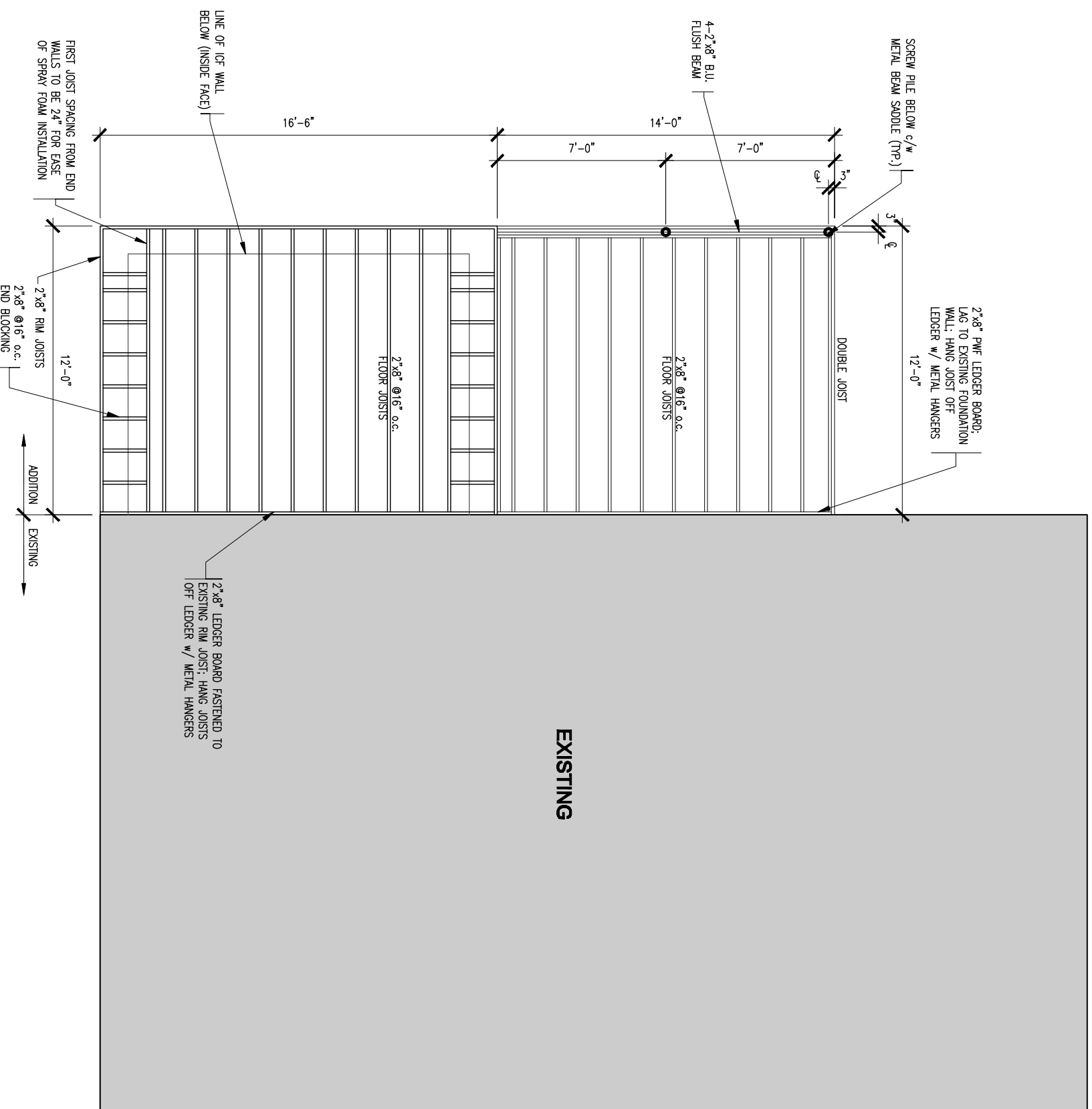
1	2 PLY 2"x10" SPF #2 OR BIR
2	LVL BY SUPPLIER

- NOTES:**
1. FINAL TRUSS DESIGN AND LAYOUT TO BE DONE BY TRUSS MANUFACTURER/SUPPLIER
  2. ALL HANGERS TO BE SUPPLIED BY TRUSS MANUFACTURER/SUPPLIER
  3. ROOF SOFFITS THAT PROJECT TO LESS THAN 12m FROM PROPERTY LINE TO BE NON-VENTED
  4. CONTRACTOR TO CONFIRM EXISTING ROOF SLOPE/EAVES & HEEL HEIGHT.

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EXISTING



NORTH

## MAIN FLOOR JOIST LAYOUT

SCALE:  $\frac{3}{8}'' = 1'-0''$

- NOTES:
1. CONTRACTOR TO CONFIRM ALL EXISTING DIMENSIONS
  2. CONTRACTOR RESPONSIBLE FOR DETERMINE ALL EXISTING CONDITIONS & CONSTRUCTION ASSEMBLIES, ENSURE EXISTING WALLS AND FOUNDATION ARE ADEQUATE CONDITION FOR THE INTEGRATION OF NEW CONSTRUCTION
  3. CONTRACTOR RESPONSIBLE FOR DETERMINE ANY STRUCTURAL MEMBERS PRIOR TO DEMOLITION; IF STRUCTURAL MEMBERS ARE TO BE REMOVED, CONTRACTOR TO NOTIFY DESIGNER
  4. ALL LUMBER IN CONTACT WITH CONCRETE FOUNDATION TO BE OF PRESSURE TREATED MATERIAL

SAMPLE SET ONLY

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### DRAWING NAME:

**MAIN FLOOR  
JOIST LAYOUT**

### DATE:

**November 13, 2020**

### PROJECT #:

**2020-96**

### DRAWN:

**BMV**

**A-6.0**

## TYPICAL CONSTRUCTION ASSEMBLIES:

NOTE:  
SEE PAGE A-7.1 & A-7.2 FOR CALCULATIONS FOR ENERGY EFFICIENCY OF BUILDING ASSEMBLIES TO MEET SECTION 9.36.2. "PRESCRIPTIVE PATH" OF THE "2015 NATIONAL BUILDING CODE OF CANADA". RESIDENCE MAY BE ENERGY MODELED "PERFORMANCE PATH" BY OTHERS TO MEET SECTION 9.36.5. OF THE "2015 NATIONAL BUILDING CODE OF CANADA"

### (R1) TYP. ROOF CONSTRUCTION ABOVE KITCHEN

- ASPHALT SHINGLES
  - ROOF VENTING AS REQUIRED
  - EAVE PROTECTION AS REQUIRED
  - ½" OSB SHEATHING c/w H-CLIPS
  - ENG. TRUSSES @24" o.c.  
TO MATCH EXISTING HEEL  
CONTRACTOR TO CONFIRM
  - R60 BLOWN-IN INSULATION
  - 6mil POLY AIR/VAPOUR BARRIER
  - c/w ACOUSTIC COMPOUND & BLUE TUCK TAPE
  - ½" CEILING DRYWALL (TAPED & SANDED)
  - FINISH AS PER OWNER
- NOTE: - 1ft<sup>2</sup> ROOF VENTS PER 300ft<sup>2</sup> ATTIC SPACE  
- INSULATION MUST REACH FULL R/RSI-VALUE  
AT 1.2m FROM EXTERIOR WALL  
- R20 MIN. ABOVE EXTERIOR WALL @ EAVES

### (R2) TYP. ROOF CONSTRUCTION ABOVE GARAGE

- ASPHALT SHINGLES
  - ROOF VENTING AS REQUIRED
  - EAVE PROTECTION AS REQUIRED
  - ½" OSB SHEATHING c/w H-CLIPS
  - ENG. TRUSSES @24" o.c.  
TO MATCH EXISTING HEEL  
CONTRACTOR TO CONFIRM
  - R40 BATT INSULATION
  - 6mil POLY AIR/VAPOUR BARRIER
  - c/w ACOUSTIC COMPOUND & BLUE TUCK TAPE
  - ½" CEILING DRYWALL (TAPED & SANDED)
  - FINISH AS PER OWNER
- NOTE: - 1ft<sup>2</sup> ROOF VENTS PER 300ft<sup>2</sup> ATTIC SPACE  
- GARAGE ROOF NEED NOT COMPLY WITH  
9.36. OF NBC 2015 AS PER A-9.36.1.3.(5)

### (R3) TYP. ROOF CONSTRUCTION ABOVE 3 SEASONS ROOM

- ASPHALT SHINGLES
  - ROOF VENTING AS REQUIRED
  - EAVE PROTECTION AS REQUIRED
  - ½" OSB SHEATHING c/w H-CLIPS
  - ENG. TRUSSES @24" o.c.  
STANDAR HEEL HEIGHT
  - R40 BATT INSULATION
  - 6mil POLY AIR/VAPOUR BARRIER
  - c/w ACOUSTIC COMPOUND & BLUE TUCK TAPE
  - ½" CEILING DRYWALL (TAPED & SANDED)
  - FINISH AS PER OWNER
- NOTE: - 1ft<sup>2</sup> ROOF VENTS PER 300ft<sup>2</sup> ATTIC SPACE  
- 3 SEASONS'S ROOM ROOF NEED NOT COMPLY WITH  
9.36. OF NBC 2015 AS PER A-9.36.1.3.(5) AS IT IS UNHEATED

### TYP. EAVE CONSTRUCTION

- PREFINISHED 5" CONTINUOUS METAL EAVESTROUGH
- PREFINISHED METAL FASCIA
- 2"x6" SPF FASCIA BOARD
- PREFINISHED METAL VENTED SOFFITS
- INSULATION BAFFLES

NOTE: IF SOFFITS ARE WITHIN 1.2m OF PROPERTY LINE ½" EXTERIOR GRADE DRYWALL OR ¾" OSB MUST BE APPLIED UNDER SOFFITS; OR A NON VENTED SOFFIT MAY BE USED

### (W1) TYP. EXTERIOR WALL CONSTRUCTION

- VINYL SIDING
- BUILDING WRAP
- METAL FLASHINGS OVER ALL EXTERIOR OPENINGS
- ¾" O.S.B. SHEATHING
- 2"x6" WD. STUDS @ 16" o.c.
- R24 BATT INSULATION
- 6mil POLY AIR/VAPOUR BARRIER
- c/w ACOUSTIC COMPOUND & BLUE TUCK TAPE
- ½" DRYWALL (TAPED & SANDED)
- FINISH AS PER OWNER

### (W2) TYP. FOUNDATION WALL CONSTRUCTION

- PARING ABOVE GRADE
- DAMPROOFING BELOW GRADE
- 8" CORE ICF. FROST WALL
- REINF. AS PER MANUFACTURER'S SPECIFICATIONS
- ½" DRYWALL

### (W3) TYP. GARAGE/3 SEASONS ROOM WALL CONSTRUCTION

- VINYL SIDING
  - BUILDING WRAP
  - METAL FLASHINGS OVER ALL EXTERIOR OPENINGS
  - ¾" O.S.B. SHEATHING
  - 2"x6" WD. STUDS @ 16" o.c. c/w PWF BOTTOM PLATE
  - R20 BATT INSULATION
  - 6mil POLY AIR/VAPOUR BARRIER
  - c/w ACOUSTIC COMPOUND & BLUE TUCK TAPE
  - ½" DRYWALL (TAPED & SANDED)
  - FINISH AS PER OWNER
- NOTE: - GARAGE/3 SEASONS ROOM WALLS NEED NOT COMPLY WITH  
9.36. OF NBC 2015 AS PER A-9.36.1.3.(5)

### (W4) HOUSE/GARAGE DIVIDING WALL CONSTRUCTION

- ¾" TYPE "X" DRYWALL (TAPED & SANDED)
- EXISTING WALL CONSTRUCTION TO REMAIN

### (W5) TYP. INTERIOR WALL CONSTRUCTION

- FINISH AS PER OWNER
- ½" DRYWALL (TAPED & SANDED)
- 2"x4" WD. STUDS @ 16" o.c. (2"x6" AS NOTED)
- ½" DRYWALL (TAPED & SANDED)
- FINISH AS PER OWNER

### TYP. FOOTING CONSTRUCTION

- 24"x8" REINF. CONC. FOOTING  
ON UNDISTURBED SOIL
- r/w 3-10M REBAR CONTINUOUS & 10M CROSS @24" o.c.  
DOWNEL NEW FOOTING INTO EXISTING FOUNDATION; TO MATCH REINF.
- 4 Ø PERFORATED TUBING
- 6" CRUSHED ROCK MIN. ABOVE PERFORATED TUBING
- 4"x24" RIGID INSULATION FROST PROTECTION AROUND PERIMETER

### TYP. GARAGE GRADE BEAM CONSTRUCTION

- 8"x24" REINF. CONC. GRADE BEAM  
r/w 2-15M TOP & BOTTOM
- c/w 6" VOID FORM BETWEEN PILES
- 12" Ø x 12'-0" DEEP REINF. CONC. PILE  
r/w 2-15M REBAR EXT 18" INTO GRADE BEAM

### (F1) TYP. MAIN FLOOR CONSTRUCTION

- FINISHED FLOORING AS PER OWNER
  - ¾" T&G PLYWOOD SUBFLOOR; SCREWED & GLUED  
TO MATCH EXISTING
  - 2"x8" @16" o.c FLOOR JOISTS
- NOTE: RIM JOIST TO BE SPRAY FOAMED WITH MIN. R22 INSULATION

### (F2) TYP. CRAWL SPACE FLOOR CONSTRUCTION

- 3" CONCRETE SLAB
  - 6mil POLY DAMPROOFING;  
SEALED TO FDN WALL AND ALL PENETRATIONS  
w/ ACOUSTIC COMPOUND & BLUE TUCK TAPE
  - 8" COMPACTED CRUSHED ROCK (4" MIN.)
- NOTE: - ROUGH IN PIPE FOR RADON GAS AS  
PER NBC 2015 (9.13.4.3)  
- SLAB NEED NOT BE INSULATED AS  
FOUNDATION IS INSULATED ON EXTERIOR  
AS PER 9.36.2.8 (4)0

### (F3) TYP. GARAGE SLAB CONSTRUCTION

- 4" CONCRETE SLAB  
r/w 10M @24" o.c. EACH WAY;
  - DOWELED INTO GRADE BEAM/EXISTING FOUNDATION WALL
  - SLOPE CONCRETE TO CENTER FLOOR DRAIN
  - 6mil POLY DAMPROOFING;  
SEALED TO GRADE BEAM AND ALL PENETRATIONS  
w/ ACOUSTIC COMPOUND & BLUE TUCK TAPE
  - MIN. 8" COMPACTED BASE FILL
- NOTE: - GARAGE SLAB NEED NOT COMPLY WITH  
9.36. OF NBC 2015 AS PER A-9.36.1.3.(5)

### (F4) 3 SEASONS ROOM FLOOR CONSTRUCTION

- FINISHED FLOORING AS PER OWNER
- ¾" T&G PLYWOOD SUBFLOOR; SCREWED
- 6mil POLY AIR/VAPOUR BARRIER
- c/w ACOUSTIC COMPOUND & BLUE TUCK TAPE
- 2"x8" @16" o.c FLOOR JOISTS
- R28 BATT INSULATION
- ¾" PWF PLYWOOD

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### DRAWING NAME:

**TYPICAL  
CONSTRUCTION  
ASSEMBLIES**

### DATE:

**November 13, 2020**

### PROJECT #:

**2020-96**

### DRAWN:

**BMV**

**A-7.0**

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**BUILDING SECTION**

**DATE:**

**November 13, 2020**

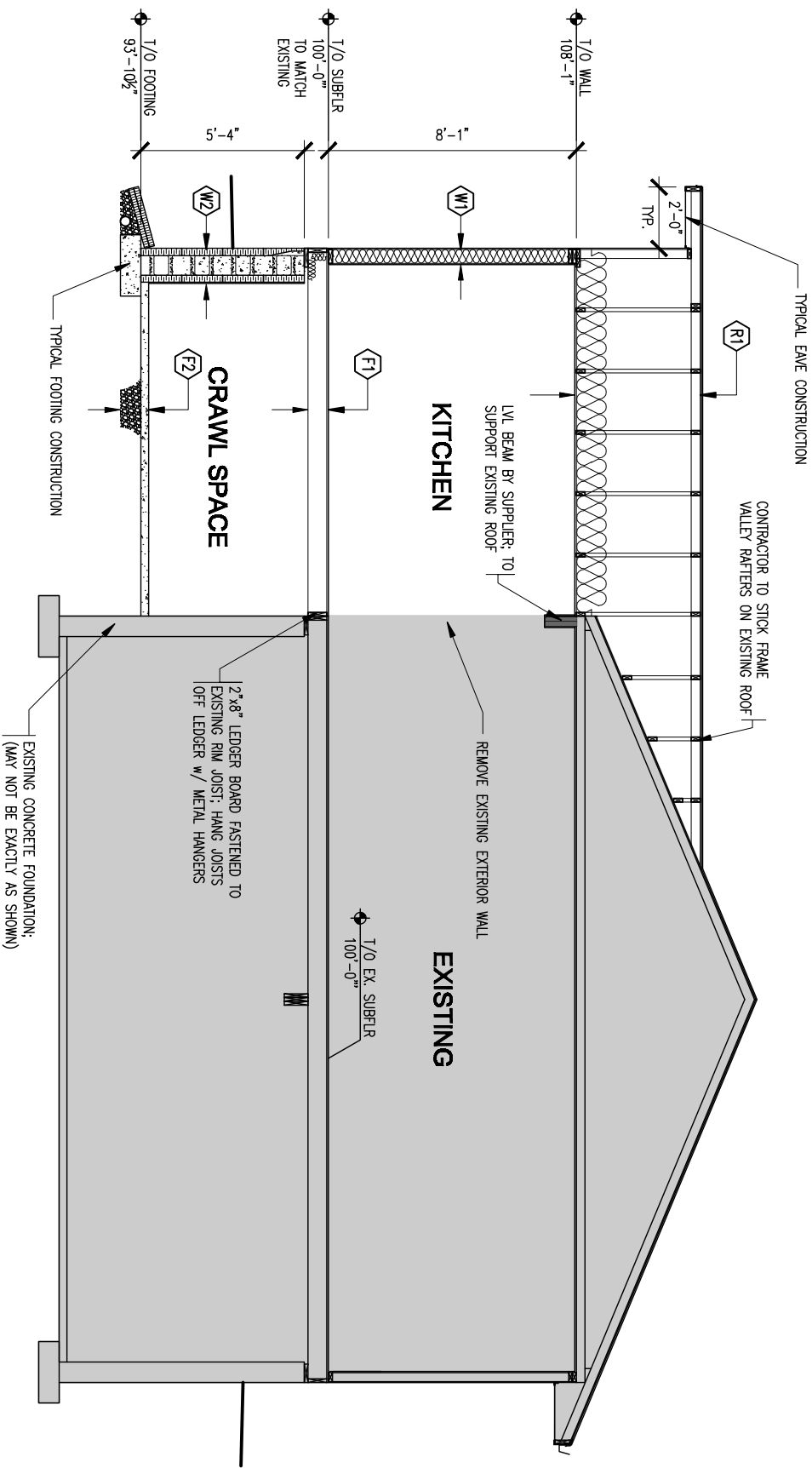
**PROJECT #:**

**2020-96**

**DRAWN:**

**BMV**

**A-8.0**



**BUILDING SECTION**  
**SCALE: 3/8" = 1'-0"**

**NOTES:**

1. CONTRACTOR TO CONFIRM ALL EXISTING DIMENSIONS
2. CONTRACTOR RESPONSIBLE FOR DETERMINE ALL EXISTING CONDITIONS & CONSTRUCTION ASSEMBLIES. ENSURE EXISTING WALLS AND FOUNDATION ARE ADEQUATE CONDITION FOR THE INTEGRATION OF NEW CONSTRUCTION
3. CONTRACTOR RESPONSIBLE FOR DETERMINE ANY STRUCTURAL MEMBERS PRIOR TO DEMOLITION. IF STRUCTURAL MEMBERS ARE TO BE REMOVED, CONTRACTOR TO NOTIFY DESIGNER
4. CONTRACTOR TO CONFIRM ALL EXISTING ROOF SLOPES/EAVES/HEEL HEIGHTS.
5. ALL LUMBER IN CONTACT WITH CONCRETE FOUNDATION TO BE OF PRESSURE TREATED MATERIAL
6. TOP OF FOUNDATION TO BE 8" ABOVE GRADE (MIN.)
7. ROUGH IN PIPE FOR RADON GAS AS PER NBC 2015 (9.13.4.3)
8. SEE PAGE A-7.0 FOR TYPICAL CONSTRUCTION ASSEMBLIES
9. REINFORCING DESIGN IN ICF BLOCK AS PER MANUFACTURER'S SPECIFICATIONS

**SAMPLE SET ONLY**

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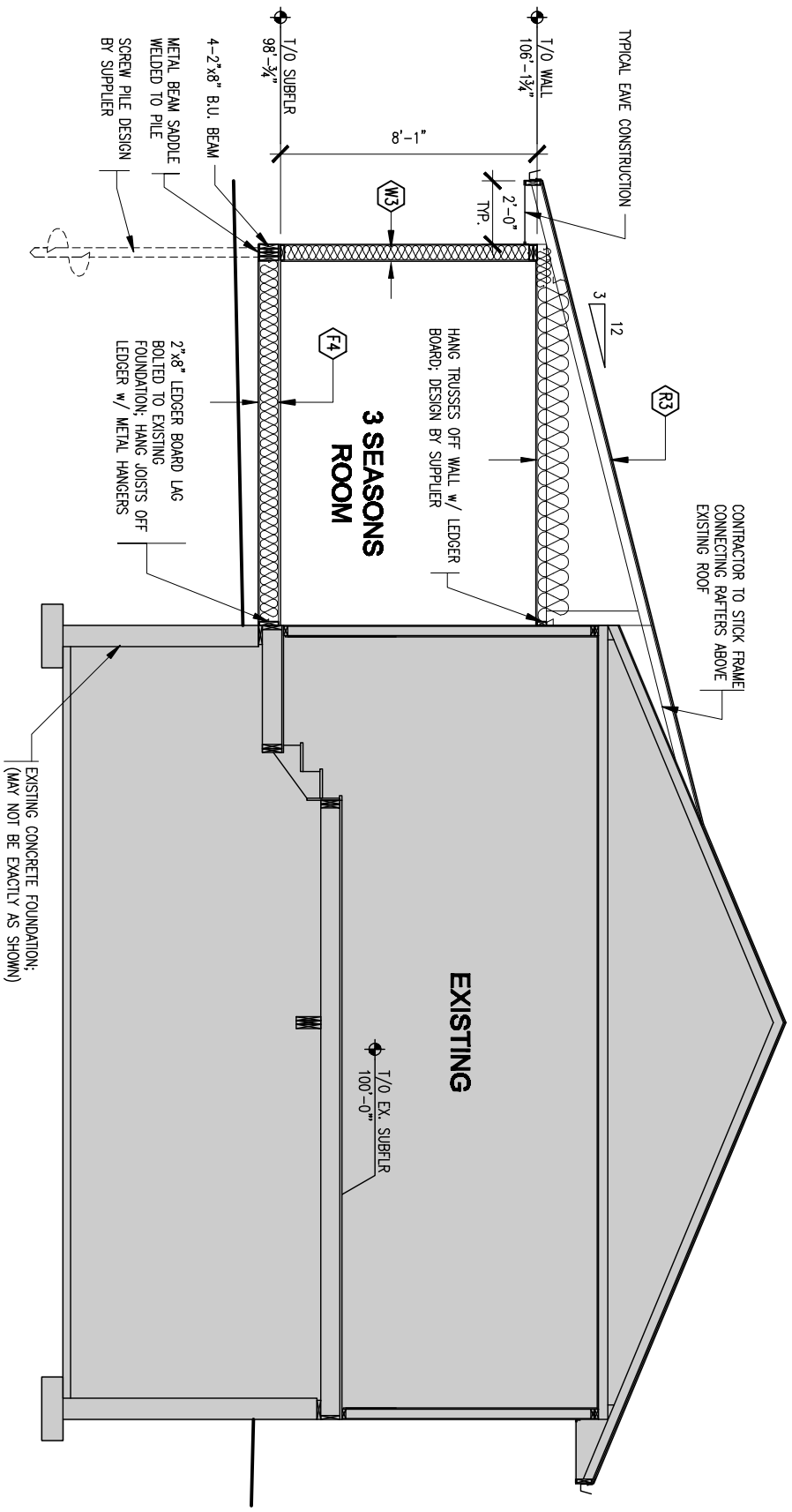
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**BUILDING SECTION**

SCALE: 3/16" = 1'-0"

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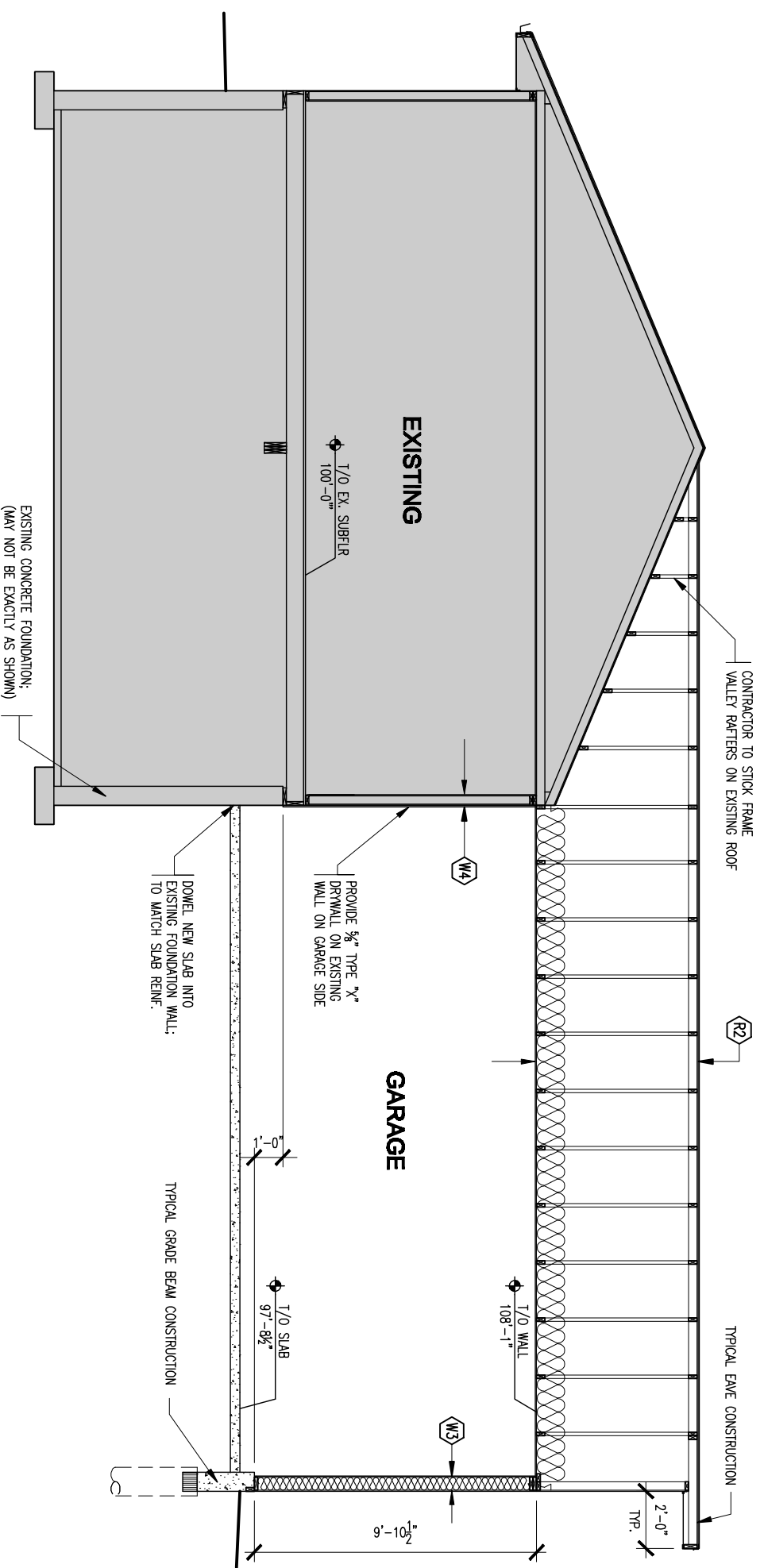
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**A-8.2**



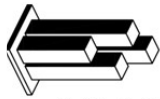
**BUILDING SECTION**  
SCALE: 3/8" = 1'-0"

- NOTES:
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**SAMPLE SET ONLY**

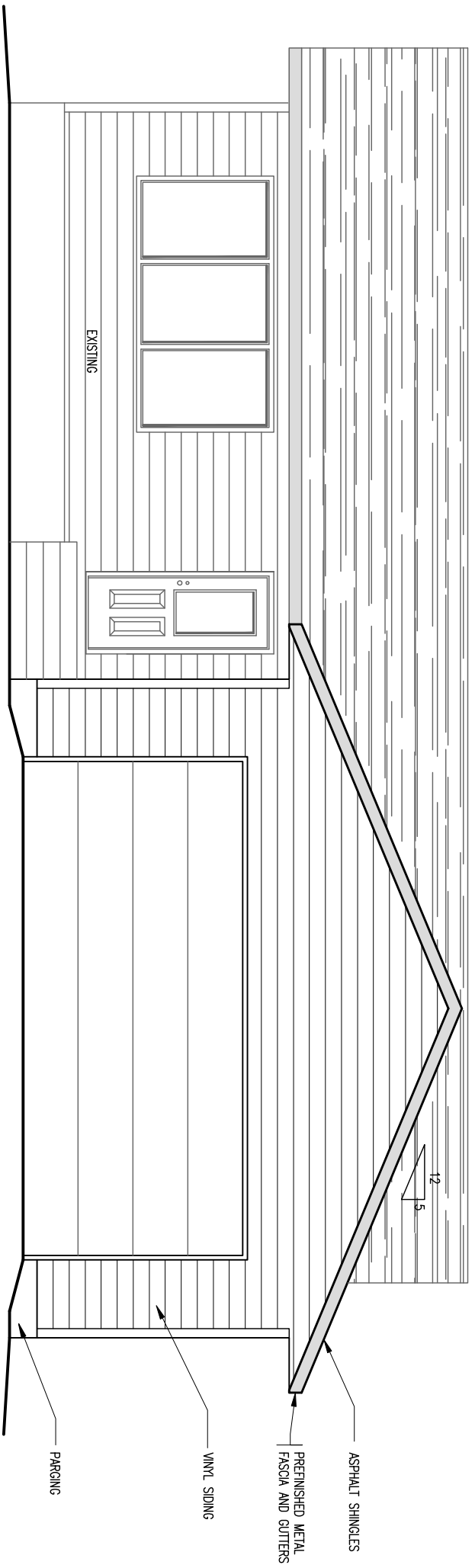
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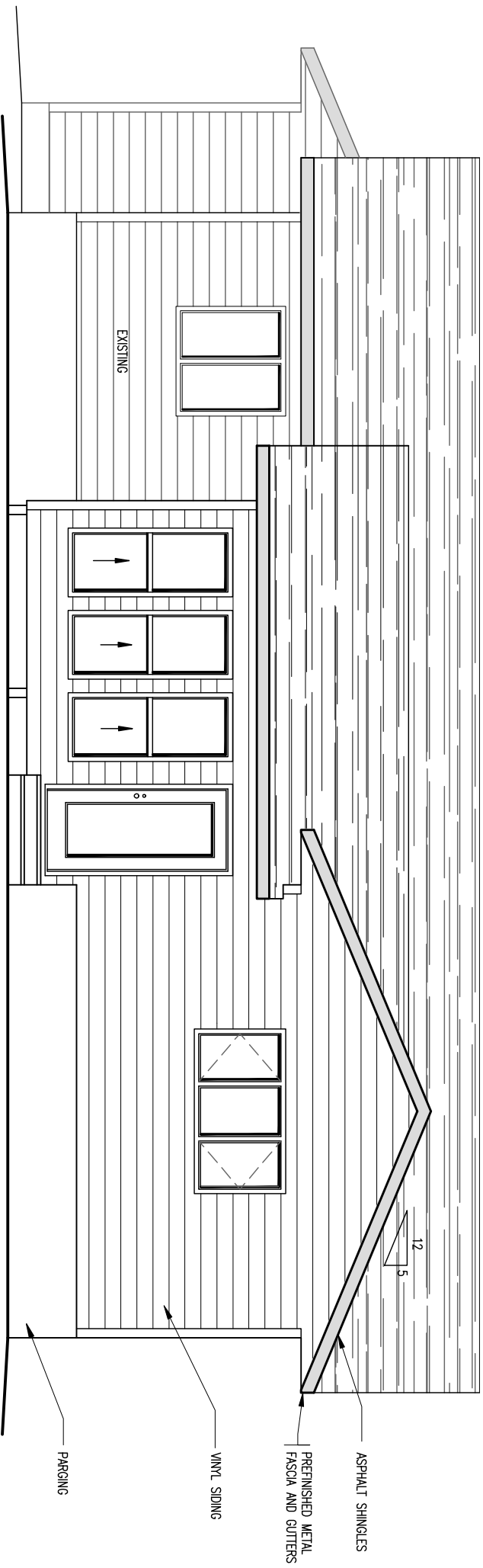
**NORTH ELEVATION**

SCALE:  $\frac{3}{8}'' = 1'-0''$



**SOUTH ELEVATION**

SCALE:  $\frac{3}{8}'' = 1'-0''$



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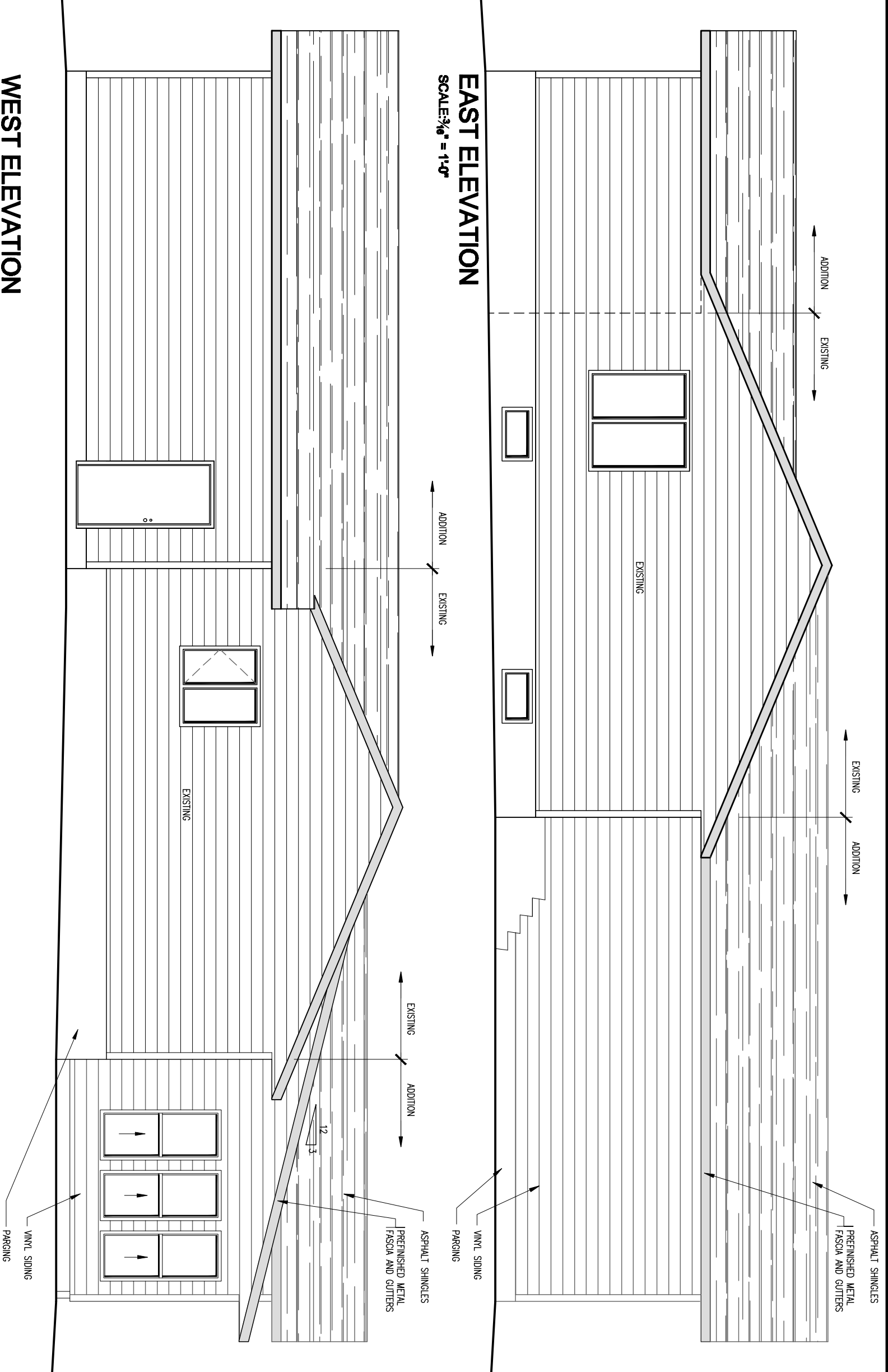
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EXTERIOR ELEVATIONS

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November 13, 2020

**PROJECT #:**  
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**A-9.1**



**EAST ELEVATION**  
SCALE: 3/8" = 1'-0"

**WEST ELEVATION**  
SCALE: 3/8" = 1'-0"

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