

"Exhibit A"

**Rural Municipality of Aberdeen No. 373**  
**Bylaw No. 2017-09**

A bylaw to amend Bylaw No. 2007-05, known as the Zoning Bylaw of the Rural Municipality of Aberdeen No. 373.

The Council of the Rural Municipality of Aberdeen No. 373, in the Province of Saskatchewan, enacts this bylaw to amend Bylaw No. 2007-05 as follows:

1. Section 2 is amended by adding the following between the definition of "Service Station" and the definition of "Sight Triangle":  
  
"Shipping Container: means a cargo container that is a prefabricated metal container or box specifically constructed for the transportation of goods by ship, train or highway tractor."
2. Section 4.14.10(4) is amended by adding the following new subsection:  
  
"(c) Detached accessory buildings in the GC - Golf Course District are not to exceed two stories or a height of 10 metres."
3. Section 4.14.10(5) is amended by adding the following after subsection (5)(a):  
  
"(b) Within the CR3 District there shall be not more than three accessory buildings on any site the maximum combined gross floor area of which shall not exceed the habitable gross floor area of the principal residence.  
  
(c) The gross floor area of any one individual accessory building in the CR3 District shall not exceed 35% of the gross floor area of the principal residence."
4. Section 4.14.10(6) is amended by deleting subsection (b) and substituting the following thereto:  
  
"(b) Detached accessory buildings in any agricultural, golf course or commercial district are subject to the following regulations."
5. Section 4.14.10(8) is amended by deleting subsection (a) and substituting the following thereto:  
  
"(a) In the A, C1, GC and CRMU districts anchored membrane covered structures are permitted."
6. Section 4.14.10 is amended by adding the following after subsection (9):  
  
"(10) In the CR1, CR2, CR2A & CR3 district shipping containers shall be prohibited, except for a period not to exceed one year, for the storage of supplies and

J. M. B.

equipment during the construction of a principal dwelling on the site.”

7. Table 6-1 A - AGRICULTURE DISTRICT DEVELOPMENT STANDARDS is amended by adding the following minimum development standards for solid and liquid waste disposal facilities:

Principal Use	Minimum Site Area (ha)	Maximum Site Area (ha)	Minimum Site Frontage (m)	Minimum Front Yard (m)	Minimum Rear Yard (m)	Minimum Side Yard (m)
Solid and liquid waste disposal facilities	no minimum	no maximum	no minimum	3	3	3

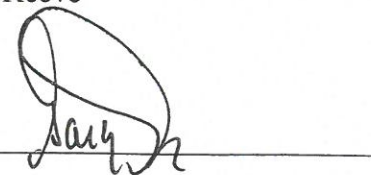
8. Section 8B.3 is amended by deleting subsection 8B.3.3 and substituting the following thereto:

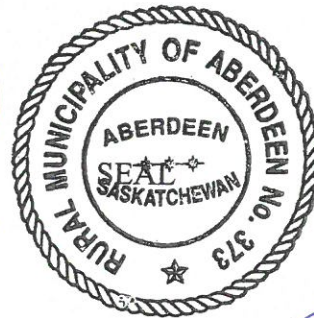
“8B.3.3 Recreational Uses

- (1) Integrated recreation facilities, limited to a golf course including a driving range, clubhouse, lounge, pro shop, restaurant and other associated facilities.

9. This bylaw shall become effective on the date of approval of the Minister of Government Relations.

  
\_\_\_\_\_  
Reeve

  
\_\_\_\_\_  
Rural Municipal Administrator



Certified a true copy of  
Bylaw No. 2017-09

  
\_\_\_\_\_  
Gary Dziadyk, Administrator

This Bylaw read a first time on the 10th day of August, 2017

This Bylaw read a second time on the 14th day of September, 2017

This Bylaw read a third time and adopted on the 14th day of September, 2017

